

NOTICE
OF
MEETING

MAIDENHEAD DEVELOPMENT MANAGEMENT PANEL

will meet on

WEDNESDAY, 10TH MAY, 2017

at

7.00 pm

in the

COUNCIL CHAMBER - TOWN HALL,

TO: MEMBERS OF THE MAIDENHEAD DEVELOPMENT MANAGEMENT PANEL

COUNCILLOR DAVID BURBAGE (CHAIRMAN)
COUNCILLOR DEREK WILSON (VICE-CHAIRMAN)
COUNCILLORS CLIVE BULLOCK, GERRY CLARK, MAUREEN HUNT,
RICHARD KELLAWAY, PHILIP LOVE, DEREK SHARP, ADAM SMITH AND
LEO WALTERS

SUBSTITUTE MEMBERS

COUNCILLORS PAUL BRIMACOMBE, STUART CARROLL, CARWYN COX,
JUDITH DIMENT, GEOFF HILL, MOHAMMED ILYAS, MARION MILLS, MJ SAUNDERS,
HARI SHARMA AND LISA TARGOWSKA

Karen Shepherd
Democratic Services Manager
Issued: Tuesday, 2 May 2017

Members of the Press and Public are welcome to attend Part I of this meeting.

The agenda is available on the Council's web site at www.rbwm.gov.uk – if you are viewing this on the website and there are appendices you are unable to access, please contact the Panel Administrator **Shilpa Manek** 01628 796310, or democratic.services@rbwm.gov.uk

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AGENDA

PART 1

ITEM	SUBJECT	WARD	PAGE NO
1.	<u>APOLOGIES FOR ABSENCE</u> To receive any apologies for absence.		
2.	<u>DECLARATIONS OF INTEREST</u> To receive any declarations of interest.		5 - 6
3.	<u>MINUTES</u> To confirm the part I minutes of the meeting of 12 April 2017.		7 - 10
4.	<u>PLANNING APPLICATIONS (DECISION)</u> To consider the Head of Plannings report on planning applications received. Full details on all planning applications (including application forms, site plans, objections received, correspondence etc.) can be found by accessing the Planning Applications Public Access Module by selecting the following link. http://www.rbwm.gov.uk/web/dc_public_apps.htm		11 - 42
5.	<u>ESSENTIAL MONITORING REPORTS (MONITORING)</u> To consider the Appeals Decision Report and Planning Appeals Received.		43 - 46
6.	<u>LOCAL GOVERNMENT ACT 1972 - EXCLUSION OF PUBLIC</u> To consider passing the following resolution:- "That under Section 100(A)(4) of the Local Government Act 1972, the public be excluded from the remainder of the meeting whilst discussion takes place on item 7 on the grounds that it involves the likely disclosure of exempt information as defined in Paragraphs 1-7 of part I of Schedule 12A of the Act"		

PART II PRIVATE MEETING

ITEM	SUBJECT	WARD	PAGE NO
7.	<u>PLANNING APPEALS QUARTERLY UPDATE</u> <i>(Not for publication by virtue of Paragraph 1, 2, 3, 4, 5, 6, 7, 7a, 7b, 7c of Part 1 of Schedule 12A of the Local Governmet Act 1972)</i>		47 - 50
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MEMBERS' GUIDE TO DECLARING INTERESTS IN MEETINGS

Disclosure at Meetings

If a Member has not disclosed an interest in their Register of Interests, they **must make** the declaration of interest at the beginning of the meeting, or as soon as they are aware that they have a DPI or Prejudicial Interest. If a Member has already disclosed the interest in their Register of Interests they are still required to disclose this in the meeting if it relates to the matter being discussed.

A member with a DPI or Prejudicial Interest **may make representations at the start of the item but must not take part in discussion or vote at a meeting.** The term 'discussion' means a discussion by the members of meeting. In order to avoid any accusations of taking part in the discussion or vote, Members should move to the public area or leave the room once they have made any representations. If the interest declared has not been entered on to a Members' Register of Interests, they must notify the Monitoring Officer in writing within the next 28 days following the meeting.

Disclosable Pecuniary Interests (DPIs) (relating to the Member or their partner) include:

- Any employment, office, trade, profession or vocation carried on for profit or gain.
- Any payment or provision of any other financial benefit made in respect of any expenses occurred in carrying out member duties or election expenses.
- Any contract under which goods and services are to be provided/works to be executed which has not been fully discharged.
- Any beneficial interest in land within the area of the relevant authority.
- Any licence to occupy land in the area of the relevant authority for a month or longer.
- Any tenancy where the landlord is the relevant authority, and the tenant is a body in which the relevant person has a beneficial interest.
- Any beneficial interest in securities of a body where:
 - a) that body has a piece of business or land in the area of the relevant authority, and
 - b) either (i) the total nominal value of the securities exceeds £25,000 or one hundredth of the total issued share capital of that body **or** (ii) the total nominal value of the shares of any one class belonging to the relevant person exceeds one hundredth of the total issued share capital of that class.

Any Member who is unsure if their interest falls within any of the above legal definitions should seek advice from the Monitoring Officer in advance of the meeting.

A Member with a DPI should state in the meeting: ***'I declare a Disclosable Pecuniary Interest in item x because xxx. As soon as we come to that item, I will leave the room/ move to the public area for the entire duration of the discussion and not take part in the vote.'***

Or, if making representations on the item: 'I declare a Disclosable Pecuniary Interest in item x because xxx. As soon as we come to that item, I will make representations, then I will leave the room/ move to the public area for the entire duration of the discussion and not take part in the vote.'

Prejudicial Interests

Any interest which a reasonable, fair minded and informed member of the public would reasonably believe is so significant that it harms or impairs the Member's ability to judge the public interest in the item, i.e. a Member's decision making is influenced by their interest so that they are not able to impartially consider relevant issues.

A Member with a Prejudicial interest should state in the meeting: ***'I declare a Prejudicial Interest in item x because xxx. As soon as we come to that item, I will leave the room/ move to the public area for the entire duration of the discussion and not take part in the vote.'***

Or, if making representations in the item: 'I declare a Prejudicial Interest in item x because xxx. As soon as we come to that item, I will make representations, then I will leave the room/ move to the public area for the entire duration of the discussion and not take part in the vote.'

Personal interests

Any other connection or association which a member of the public may reasonably think may influence a Member when making a decision on council matters.

Members with a Personal Interest should state at the meeting: ***'I wish to declare a Personal Interest in item x because xxx'. As this is a Personal Interest only, I will take part in the discussion and vote on the matter.***

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Agenda Item 3

MAIDENHEAD DEVELOPMENT MANAGEMENT PANEL

WEDNESDAY, 12 APRIL 2017

PRESENT: Councillors David Burbage (Chairman), Derek Wilson (Vice-Chairman), Clive Bullock, Gerry Clark, David Coppinger, Maureen Hunt, Richard Kellaway, Adam Smith and Leo Walters

Also in attendance:

Officers: Tony Carr, Victoria Gibson, Jenifer Jackson, Mary Kilner and Shilpa Manek

APOLOGIES FOR ABSENCE

Apologies were received from Councillor Sharp.

DECLARATIONS OF INTEREST

Councillors Burbage, Walters and Wilson declared a personal interest in item 4 as members of Bray Parish Council. They all took no part in discussions and attend the meeting with an open mind.

Councillor Coppinger declared a personal interest in item 4 as he knew the applicant and owns property in Bray but was attending the meeting with an open mind.

MINUTES

RESOLVED UNANIMOUSLY: That the minutes of the meeting held on 15 March 2017 be approved.

PLANNING APPLICATIONS (DECISION)

The Panel considered the Head of Planning's report on planning applications and received updates in relation to a number of applications, following the publication of the agenda.

NB: *Updates were received in relation to planning applications marked with an asterisk.

Item 1 17/00129/FULL	Construction of 3x dwellings with garages following demolition of existing poultry /egg plant and silo.
Challen's Chickens Land Adjacent Honey House Winter Hill Road Cookham Maidenhead SL6 6PJ	<p>The Officers recommendation to refuse the application was put forward by Councillor Hunt and seconded by Councillor Walters.</p> <p>Eight Councillors voted for this motion (Councillors Burbage, Bullock, Clark, Coppinger, Hunt, Smith, Walters and Wilson). Councillor Kellaway abstained from voting.</p> <p>The PANEL VOTED that the application be REFUSED as per the officer's recommendation.</p> <p>(Speakers: The Panel was addressed by David Ashwanden, Cookham Society)</p>

<p>Item 2 17/00191/OUT</p> <p>20 And 24 Braywick Road Maidenhead</p>	<p><i>Outline application (access and layout) with other matters reserved for the erection of two-storey 7No. dwellings with access, parking and amenity space following the demolition of existing dwelling.</i></p> <p>The Officers recommendation to permit the application was put forward by Councillor Wilson and seconded by Councillor Hunt.</p> <p>Eight Councillors voted for this motion (Councillors Burbage, Bullock, Clark, Coppinger, Hunt, Kellaway, Smith and Wilson). Councillor Walters abstained from voting.</p> <p>The PANEL VOTED that the application be PERMITTED as per the officer's recommendation.</p> <p>(Speakers: The Panel was addressed by Michael Walford and Derek Roberts, Objectors and Jake Collinge, Applicants Agent)</p>
<p>Item 3 17/00322/FULL</p> <p><i>49 Switchback Road</i> <i>Maidenhead</i> <i>SL6 7QX</i></p>	<p>3 No. detached dwellings with associated access and parking following demolition of existing dwelling.</p> <p>The Officers recommendation to permit the application was put forward by Councillor Wilson and seconded by Councillor Coppinger.</p> <p>Six Councillors voted for this motion (Councillors Burbage, Bullock, Clark, Coppinger, Smith and Wilson). Councillors Hunt, Kellaway and Walters abstained from voting.</p> <p>The PANEL VOTED that the application be PERMITTED as per the officer's recommendation.</p> <p><i>(Speakers: The Panel was addressed by Mary Salvage, Objector).</i></p>
<p>Item 4 17/00686/FULL</p> <p>Land Opposite Lenore Cottage Rolls Lane Holyport Maidenhead</p>	<p>Construction of a pair of detached cottages.</p> <p>The Officers recommendation to permit the application was put forward by Councillor Walters and seconded by Councillor Burbage.</p> <p>The PANEL VOTED UNANIMOUSLY that the application be REFUSED as per the officer's recommendation.</p> <p>(Speakers: The Panel was addressed by Tony Payne and Graham Shakespeare, Objectors and Lucy Pickering, Applicant)</p>

ESSENTIAL MONITORING REPORTS (MONITORING)

The Panel noted the appeal decisions.

LOCAL GOVERNMENT ACT 1972 - EXCLUSION OF PUBLIC

ENFORCEMENT REPORT - THE SNOOTY FOX - WARREN ROW ROAD -
WARREN ROW - READING

**(Not for publication by virtue of Paragraph 1, 2, 5, 6, 7 of Part 1 of Schedule 12A
of the Local Government Act 1972**

Councillor Hunt declared that she was made aware just before the meeting that the name of the business was incorrect. It was requested that this be corrected in the records.

The site is located in green belt and there had been a material change of use which would cause harm to the greenbelt. The officers recommendation was to serve the enforcement notice.

The enforcement officers were called in by residents, complaining that there were bikes in mass blocking the gates. There was signage on the site to keep the gates clear.

Councillor hunt highlighted that it was a good little venture in the rural area, however, the tin shed was unnecessary and if it was removed, there would be more room for the cyclists.

Councillor hunt suggested that if the issue with blocking the gates could be resolved, it would be worthwhile relooking at the issue.

The issue was changing the use without informing the council. This would have to go through the process and be allowed to submit a planning application for consideration.

It was **UNANIMOUSLY AGREED** that the owners be give 42 calendar days to

- i. **Cease the Sui Generis use of the land and building including, but not limited to a cycle meet and repair facility, café and retail use.**

And to go ahead with serving the enforcement notice for:

- ii. **Cease the use of land for the siting of metal containers;**
- iii. **Remove the metal containers from the land.**

The meeting, which began at 7.00 pm, finished at 8.15 pm

CHAIRMAN.....

DATE.....

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ROYAL BOROUGH OF WINDSOR & MAIDENHEAD

Maidenhead Panel

10th May 2017

INDEX

APP = Approval
 CLU = Certificate of Lawful Use
 DD = Defer and Delegate
 DLA = Defer Legal Agreement
 PERM = Permit
 PNR = Prior Approval Not Required
 REF = Refusal
 WA = Would Have Approved
 WR = Would Have Refused

Item No.	1	Application No.	17/00656/FULL	Recommendation	PERM	Page No.
						13
Location:	Rousbury Shoppenhangers Road Maidenhead SL6 2PZ					
Proposal:	Construction of five apartments with associated parking following demolition of existing property.					
Applicant:	Mr Krylov	Member Call-in:	Not applicable	Expiry Date:	17 May 2017	
<hr/>						
Item No.	2	Application No.	17/00717/VAR	Recommendation	PERM	Page No.
						27
Location:	John West House Unit 5 The Quadrant Howarth Road Maidenhead SL6 1AP					
Proposal:	Variation of Condition 2 (Seasonal Restriction) of planning permission 16/02659/FULL to allow year-round opening.					
Applicant:	Royal Borough of Windsor And Maidenhead	Member Call-in:	Not applicable	Expiry Date:	24 April 2017	
<hr/>						
Item No.	3	Application No.	17/01159/LBC	Recommendation	PERM	Page No.
						33
Location:	Maidenhead Public Library St Ives Road Maidenhead SL6 1QU					
Proposal:	Consent to install three acoustic meeting pods					
Applicant:	The Royal Borough of Windsor And Maidenhead	Member Call-in:	Not applicable	Expiry Date:	27 May 2017	
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Appeal Decision Report						Page No. 43
Planning Appeals Received						Page No. 45
Part II – Planning Appeals Quarterly Update						Page No. 47

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**ROYAL BOROUGH OF WINDSOR & MAIDENHEAD
PLANNING COMMITTEE**

MAIDENHEAD DEVELOPMENT CONTROL PANEL

10 May 2017

Item: 1

Application No.:	17/00656/FULL
Location:	Rousbury Shoppenhangers Road Maidenhead SL6 2PZ
Proposal:	Construction of five apartments with associated parking following demolition of existing property.
Applicant:	Mr Krylov
Agent:	Mr Andrew Hope - MCIAT
Parish/Ward:	Maidenhead Unparished/Oldfield Ward
If you have a question about this report, please contact: Charlotte Goff on 01628 685729 or at charlotte.goff@rbwm.gov.uk	

1. SUMMARY

- 1.1 This application is a resubmission of application 13/02021/FULL which granted consent for the demolition of the existing dwelling house and erection of three storey building (rooms in roof) to accommodate 5 x 2 bed apartments, with associated parking for 10 cars.
- 1.2 This scheme is an almost identical resubmission of application 13/02021/FULL, with the only difference being a correction to the roof of the front elevation from the approved scheme, to ensure that this matched the floor plans. Application 13/02021/FULL was not implemented before the consent expired on the 11th September 2016.
- 1.3 The proposed building by virtue of its appropriate size, scale, siting and design, is considered to be of a similar design and scale to those adjacent and surrounding developments and would not dominate its setting to an unacceptable degree. The proposed building is therefore considered to have an acceptable impact on the streets scene.
- 1.4 The siting and design of the building is such that it is not considered to have a detrimental impact on the amenities of the adjacent occupiers, and the car parking proposed as part of the application is considered to provide sufficient parking for the proposed units proposed.

<p>It is recommended the Panel grants planning permission with the conditions listed in Section 10 of this report.</p>

2. REASON FOR PANEL DETERMINATION

- The Council's Constitution does not give the Head of Planning delegated powers to determine the application in the way recommended; such decisions can only be made by the Panel.

3. DESCRIPTION OF THE SITE AND ITS SURROUNDINGS

- 3.1 The application site is located on the eastern side of Shoppenhangers Road, the site has one access. Currently the plot is occupied by a 2 storey detached house. The pattern of development along Shoppenhangers Road is of large buildings set back from the road with some spacing to the sides.
- 3.2 The plot is broadly rectangular in shape and is long and narrow. It measures approximately 17 metres wide and 90 metres deep.

4. DESCRIPTION OF THE PROPOSAL AND ANY RELEVANT PLANNING HISTORY

- 4.1 This application seeks consent for the demolition of the existing building and construction of a 3 storey building to accommodate 5 x 2 bed apartments. The existing access would be improved and there would be 10 car parking spaces laid out to the front.
- 4.2 This application is a resubmission of application 13/02021/FULL, which granted consent for 5 x 2 bed units in the same layout and design as proposed within this submission. This application was not implemented before its expiry on the 11th September 2016, and this application is a resubmission of this scheme. One alteration is noted on the plans, which is an enlargement to the roof of the front south west elevation. However it should be noted that this corrects a discrepancy on the previously approved plans.

Ref.	Description	Decision and Date
11/02716	Single storey side and rear extension with balcony over, single storey extensions to existing garage and new boundary wall.	Permitted 14.11.2011.
13/01002	Construction of 7 x 2 bed apartments with parking following demolition of existing property.	Refused 5.6.2013.
13/02021	Construction of 5 apartments with parking following demolition of the existing.	Approved 11.09.13.
16/02989	Certificate of lawfulness to confirm if the implement of planning permission 13/02021/FULL is lawful.	Refused 09.03.17.

5. MAIN RELEVANT STRATEGIES AND POLICIES RELEVANT TO THE DECISION

National Planning Policy Framework Sections;

- 5.1 The National Planning Policy Framework sets out the Government's planning policies for England and how these are expected to be applied. It provides a framework within which local people and local planning authorities can produce their own distinctive local and neighbourhood plans, which reflect the needs and priorities of their communities.
- 5.2 At the heart of the National Planning Policy Framework is a presumption in favour of sustainable development – Local Planning Authorities should approve proposals that accord with an up-to-date Development Plan.
- 5.3 Section 6 of the NPPF states that in order to significantly boost the supply of housing across the country, LPAs should identify a supply of specific deliverable sites sufficient to provide five years' worth of housing against their housing requirements with an additional buffer of up to 20% where there is a persistent under delivery of new housing.
- 5.4 Section 7 of the NPPF establishes that LPAs, when determining planning applications, should ensure that development:
- Will function well and add to the overall quality of the area
 - Establish a strong sense of place
 - Optimise the potential of the site to accommodate development
 - Respond to local character
 - Reflect the identity of local surroundings and materials
 - Is visually attractive as a result of good architecture and appropriate landscaping.

Royal Borough Local Plan

- 5.5 The main strategic planning considerations applying to the site and the associated policies are:

Within settlement area	Highways and Parking
DG1, H10, H11,	P4, T5

These policies can be found at:

https://www3.rbwm.gov.uk/downloads/download/154/local_plan_documents_and_appendices

Other Local Strategies or Publications

5.6 Other Strategies or publications relevant to the proposal are:

- RBWM Townscape Assessment
- RBWM Parking Strategy

More information on these documents can be found at:

https://www3.rbwm.gov.uk/info/200414/local_development_framework/494/supplementary_planning

6. EXPLANATION OF RECOMMENDATION

6.1 The key issues for consideration are:

- i Impact on the character and appearance of the area;
- ii Impact on the neighbours amenity;
- iii Impact on highway safety; and
- iv Archaeology.

Impact on the character and appearance of the area

6.2 Local Plan Policy H10 requires new residential development schemes to display high standards of design and landscaping in order to create attractive safe and diverse areas and where possible to enhance the existing environment. Policy H11 takes this further and states that in established residential areas planning permission will not be granted for schemes which introduce a scale or density of new development which would be incompatible with or cause damage to the character and amenity of the area.

6.3 The National Planning Policy Framework (NPPF) also confirms the importance of design in section 7 of particular importance is the following paras.

56. The Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.

64. Permission should be refused for development of poor design that fails to take opportunities available for improving the character and quality of an area and the way it functions.

6.4 The proposed building would be 13.5m wide and 8.8m high above ground level; and it would be sited some 2 metres and 1 metre from the north and south side boundaries. The proposed scale and form of the building and setting within its plot is considered acceptable in the context of the site and surrounding street scene and does not result in a cramped form of development.

6.5 The fundamental character of the area is significantly sized buildings set within good sized plots; there is also a strong emphasis on the width of buildings. The height of the building proposed is comparable to those adjacent and the elevation treatment has a strong horizontal emphasis, which allows it to sit more comfortably within its surroundings. The car parking area to the front is considered to be of a size and scale that does not dominate this elevation, and the provision of landscape areas softens the development and the proposed planting will help the scheme assimilate with its surroundings.

Impact on neighbours amenity

- 6.6 The proposed building would extend 3 metres further rearwards than the neighbouring flatted development at St Peter's Lodge. The building would also be sited some 2 metres off this side boundary at the front narrowing to 1.3 at the rear. Accordingly it is considered that the development would not significantly overshadow St Peter's Lodge or result in loss of light to its rear living room windows, side kitchen windows and side rooflight windows to a top floor flat. It would also not have an overbearing or intrusive impact upon the occupiers' of the buildings enjoyment of their outdoor space, given the depth and the stepped in rear building line.
- 6.7 Turning to the amenities of occupiers of the Fredrick's Hotel, the proposed siting, size, scale and design of the building is such that it is not considered to have a detrimental impact on the amenities of any guests.
- 6.8 Both of the neighbouring properties have side windows, so care has to be taken to ensure there would be no significant overlooking as a result of this development. With regard to side windows details of the glass brick panels to the dining areas have been submitted and these are to be obscurely glazed. A condition will be added to ensure the retention of such. (See condition 3) The side windows to the living areas are roof lights and would be 1.7 m above finished floor level. Lastly, the side kitchen windows are sited so not to result in any direct overlooking as the neighbours' side window nearest this window is obscure glazed.

Impact on highway safety

- 6.9 Shoppenhangers Road is a local district distributor road where vehicular speeds in the immediate vicinity are subject to a 30mph speed limit. To the north of the site the speed limit changes to a 20mph limit and is further reinforced by speed cushions.
- 6.10 The site is currently served by a single access off Shoppenhangers Road that achieves unrestricted views in both directions. The width of this access will need to be increased to 4.80m to facilitate two way flows through its entrance, which it is recommended is addressed by a planning condition.
- 6.11 The site is within walking distance to the town centre, to Maidenhead Station and is served by a regular bus service. Therefore, it is deemed to be within an accessible location as defined in the Borough's current Parking Strategy (2004). The development proposes a parking provision of 2 spaces per flat, which complies with the Borough's parking standard.
- 6.12 Cycle parking is provided in a store which is sufficient in size to accommodate 6 cycles. The Borough's standard sets a requirement of 5 cycle parking spaces and a separate bin store is also provided and is situated close to the site entrance.

Archaeology

- 6.13 There are potential archaeological implications with this proposed development as evidenced by Berkshire Archaeology's Historic Environment Record. The site lies on a plateau above the valley of The Cut. This plateau seems to have been a favoured location for settlement, especially in the Roman period. An extensive Roman villa complex was located at Cox Green to the west and closer still was the Roman villa at Castle Hill. Recent investigations at Shoppenhangers Manor have shown that this also was the site of a Roman settlement, although the exact status of the site is unknown. Antiquarians have also suggested that the site of a further Roman villa lay within the grounds of Desborough College, although archaeological evidence for this is currently lacking. However two ring-ditch crop marks are known within the grounds of Larchfield Primary School and may indicate the location of two ploughed out Bronze Age barrows.
- 6.14 The proposed development lies in a plot of reasonable size (0.15ha) with proposed new build lying partly in undeveloped garden areas. The proposed development therefore has the potential to disturb important buried remains. The archaeological implications can be mitigated by an appropriate programme of archaeological work. This is in accordance with Paragraph 141 of the

NPPF which states that local planning authorities should ‘*require developers to record and advance understanding of the significance of any heritage assets to be lost (wholly or in part) in a manner proportionate to their importance and the impact, and to make this evidence (and any archive generated) publicly accessible*’. (See condition 12)

Other Material Considerations

Housing Land Supply

- 6.15 Paragraphs 7 and 14 of the National Planning Policy Framework (NPPF) set out that there will be a presumption in favour of Sustainable Development. Paragraph 49 of the NPPF states that sustainable development, and that relevant policies for the supply of housing should not be considered up-to-date if the local planning authority cannot demonstrate a 5 year supply of deliverable housing sites.
- 6.16 It is acknowledged that this scheme would make a contribution to the Borough’s housing stock and it is the view of the Local Planning Authority that the socio-economic benefits of the additional dwellings would also weigh in favour of the development.

7. COMMUNITY INFRASTRUCTURE LEVY (CIL)

- 7.1 In line with the Council’s Charging Schedule the proposed development would now be CIL liable. The applicant has submitted the required forms including the assumption of liability for payment on the net increase in gross internal floor space. The required CIL payment for the proposed development would be £52,788 on the basis of a net increase of 527.88 sq.m. No further action is required until prior to commencement of the development if the proposal is subsequently approved.

8. CONSULTATIONS CARRIED OUT

Comments from interested parties

23 occupiers were notified directly of the application.

The planning officer posted a notice advertising the application at the site on 13.3.17.

1 letter was received objecting to the application, summarised as:

Comment	Where in the report this is considered
1. Loss of light to property in St Peters Lodge given the rear projection of the building and increase in height.	6.6-6.8.
2. Overlooking and loss of privacy to No. 6 St Peters Lodge as a result of the window locations.	6.6-6.8.
3. The plans do not show the proximity of the proposed building to the northern boundary of the plot.	6.6.

Other consultees

Consultee	Comment	Where in the report this is considered
Environmental Protection unit	No objection subject to conditions.	Noted.
Highways	No objection to the scheme subject to conditions.	Noted.
Berkshire Archaeology	There are potential archaeological implications with the proposed development and a condition is recommended to secure a programme of archaeological work.	Noted.

9. APPENDICES TO THIS REPORT

- Appendix A - Site location plan and site layout
- Appendix B - Plan and elevation drawings
- Appendix C - Previous scheme.

10. CONDITIONS RECOMMENDED FOR INCLUSION IF PERMISSION IS GRANTED REASONS

1. The development hereby permitted shall be commenced within three years from the date of this permission.
Reason: To accord with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).
2. The materials to be used on the external surfaces of the development shall be in accordance with those specified in the application unless any different materials are first agreed in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.
Reason: In the interests of the visual amenities of the area. Relevant Policies - Local Plan DG1.
3. All first floor side windows and balcony screens shall be obscure glazed to at least Pilkington level three or equivalent. Additionally, the dining room glazed brick panelling shall be of a permanently fixed, non-opening design and a sample panel shall be submitted to and approved in writing prior to commencement. The obscure glass shall not be altered without the prior written approval of the Local Planning Authority.
Reason: To prevent overlooking and loss of privacy to neighbouring occupiers. Relevant Policies - Local Plan DG1.
4. Any clear glazed second floor rooflight windows shall be a minimum of 1.7m above the finished internal floor level. Any rooflights less than 1.7m above internal finished floor level shall be of a non-openable design and fitted with obscure glazing to at least Pilkington level three or equivalent. Rooflights shall not be altered and no additional windows or rooflights shall be inserted on either side elevation of the building without the prior written approval of the Local Planning Authority.
Reason: To prevent overlooking and loss of privacy to neighbouring occupiers Relevant Policies - Local Plan H11.
5. No part of the development shall be occupied until vehicle parking and turning space has been provided, surfaced and marked out in accordance with the approved drawing. The space approved shall be kept available for parking and turning in association with the development.
Reason: To ensure that the development is provided with adequate parking facilities in order to reduce the likelihood of roadside parking which could be detrimental to the free flow of traffic and to highway safety, and to facilitate vehicles entering and leaving the highway in forward gear. Relevant Policies - Local Plan P4, DG1.
6. No development shall commence until details of the siting and design of all walls, fencing or any other means of enclosure (including any retaining walls) have been submitted to and approved in writing by the Local Planning Authority. Such walls, fencing or other means of enclosure as may be approved shall be erected before first occupation of the development unless the prior written approval of the Local Planning Authority to any variation has been obtained.
Reason: To ensure the satisfactory resultant appearance and standard of amenity of the site and the surrounding area. Relevant Policy - Local Plan DG1.
7. Any gates provided shall open away from the highway and be set back a distance of at least 5 metres from the highway boundary or at least 7 metres from the nearside edge of the carriageway of the adjoining highway.
Reason: To ensure that vehicles can be driven off the highway before the gates are opened, in the interests of highway safety. Relevant Policies - Local Plan T5
8. No part of the development shall be occupied until the access has been constructed in accordance a plan to be submitted and approved in writing by the Local Planning Authority. The

access shall be constructed in accordance with the approved details and thereafter be retained.

Reason: In the interests of highway safety and the free flow of traffic. Relevant Policies - Local Plan T5, DG1.

9. Prior to the commencement of any works of demolition or construction a management plan showing how demolition and construction traffic, (including cranes), materials storage, facilities for operatives and vehicle parking and manoeuvring will be accommodated during the works period shall be submitted to and approved in writing by the Local Planning Authority. The plan shall be implemented as approved and maintained for the duration of the works or as may be agreed in writing by the Local Planning Authority
Reason: Reason: In the interests of highway safety and the free flow of traffic. Relevant Policies - Local Plan T5.
10. No part of the development shall be occupied until covered and secure cycle parking facilities have been provided in accordance with the approved drawing. These facilities shall thereafter be kept available for the parking of cycles in association with the development at all times.
Reason: To ensure that the development is provided with adequate cycle parking facilities in order to encourage the use of alternative modes of transport. Relevant Policies - Local Plan T7, DG1.
11. No part of the development shall be occupied until a refuse bin storage area and recycling facilities have been provided in accordance with the approved drawing. These facilities shall be kept available for use in association with the development at all times
Reason: To ensure that the development is provided with adequate facilities that allow it to be serviced in a manner which would not adversely affect the free flow of traffic and highway safety and to ensure the sustainability of the development. Relevant Policies - Local Plan T5, DG1.
12. No development, including demolition, shall take place until the applicant or their agents or successor in title have secured the implementation of a programme of archaeological work (which may comprise more than one phase of work) in accordance with a written scheme of investigation, which has been submitted by the applicant and approved by the planning authority.
Reason: The site lies in an area of archaeological potential, particularly in relation to the prehistoric and Roman settlement and land use of this part of the Thames Valley. The potential impacts can be mitigated by a programme of archaeological work so as to record and advance our understanding of their significance in accordance with national and local planning policy.
13. The development hereby permitted shall be carried out in accordance with the approved plans listed below.
Reason: To ensure that the development is carried out in accordance with the approved particulars and plans.

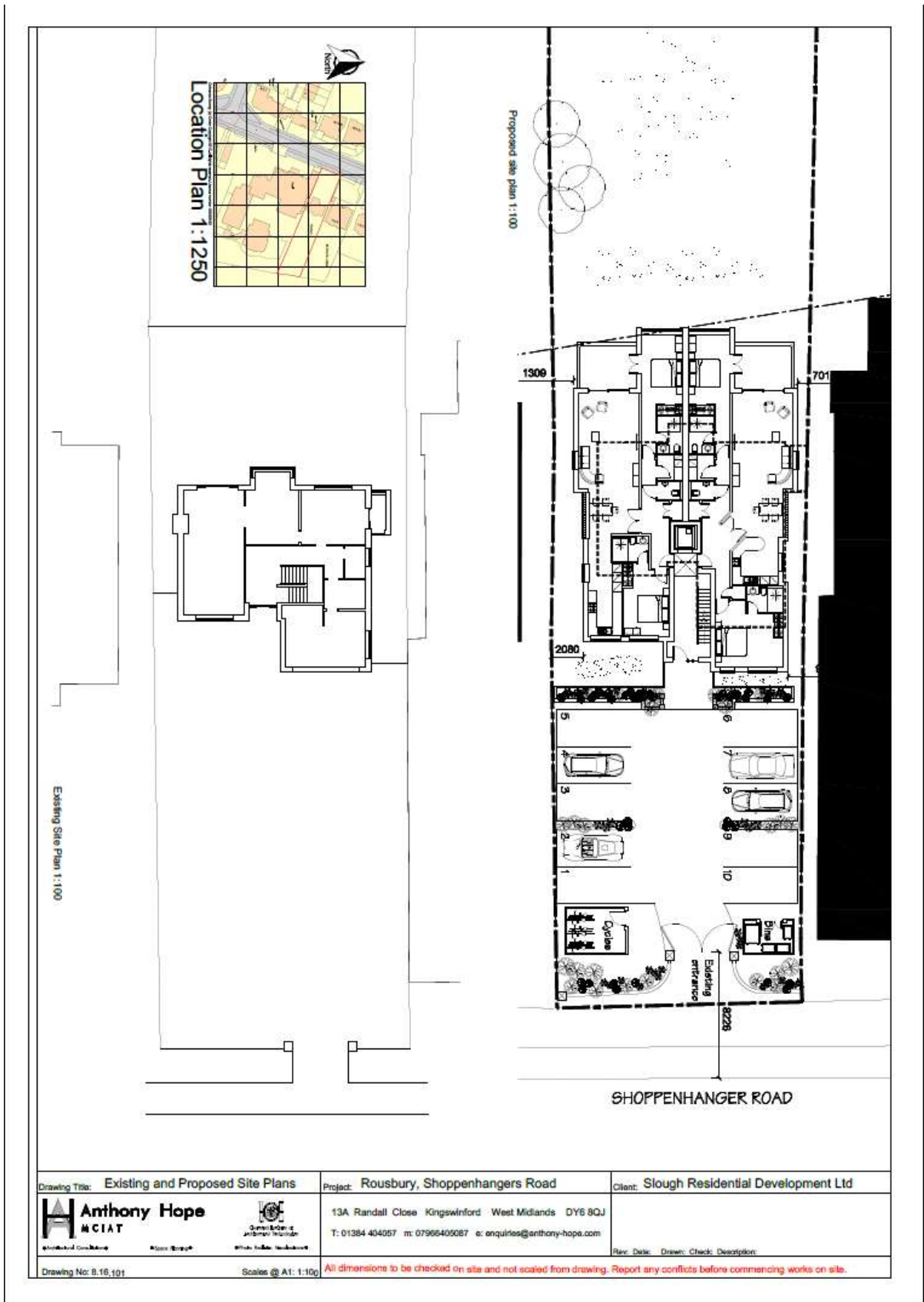
Informatives

1. The applicant is requested to apply to the Local Authority Environmental Health Unit for a Prior Consent Approval under Section 61 of the Control of Pollution Act 1974, and is advised of the noise control provisions of Section 60 of that Act. The applicant's attention is also drawn to the British Standard Code of Practice BS5228 1984 'Noise Control on Construction and Open Sites'.
2. The Royal Borough receives a large number of complaints relating to construction burning activities. The applicant should be aware that any burning that gives rise to a smoke nuisance is actionable under the Environmental Protection Act 1990. Further that any burning that gives rise to dark smoke is considered an offence under the Clean Air Act 1993. It is the Environmental Protection Team policy that there should be no fires on construction or demolition sites. All construction and demolition waste should be taken off site for disposal. The only exceptions relate to knotweed and in some cases infected timber where burning may be considered the best practicable environmental option. In these rare cases we would expect the contractor to inform the Environmental Protection Team before burning on 01628 683538 and follow good practice.
3. The applicant and their contractor should take all practicable steps to minimise dust deposition, which is a major cause of nuisance to residents living near to construction and demolition sites.

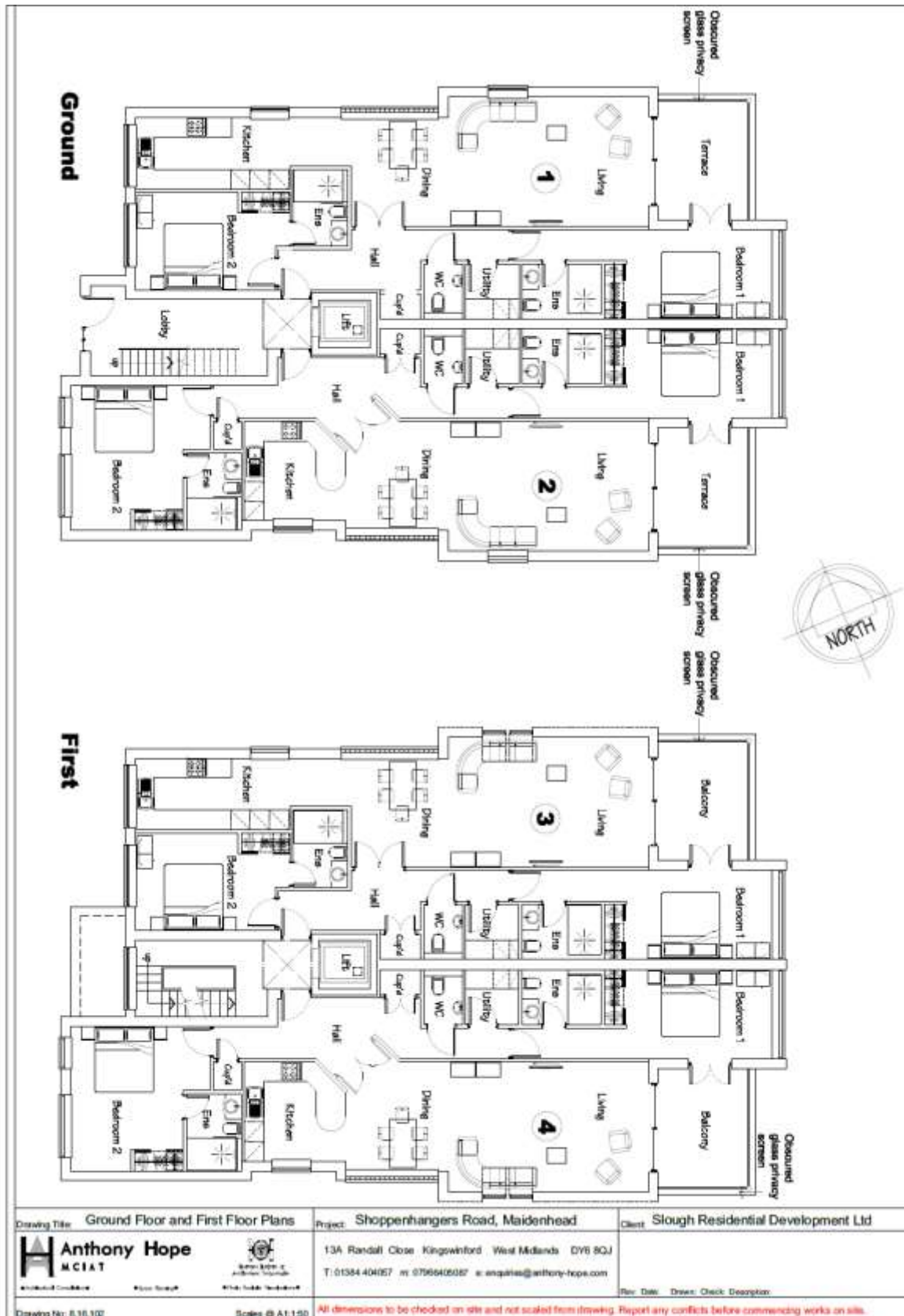
The applicant and their contractor should ensure that all loose materials are covered up or damped down by a suitable water device, to ensure that all cutting/breaking is appropriately damped down, to ensure that the haul route is paved or tarmac before works commence, is regularly swept and damped down, and to ensure the site is appropriately screened to prevent dust nuisance to neighbouring properties. The applicant is advised to follow guidance with respect to dust control: London working group on Air Pollution Planning and the Environment (APPLE): London Code of Practice, Part 1: The Control of Dust from Construction; and the Building Research Establishment: Control of dust from construction and demolition activities

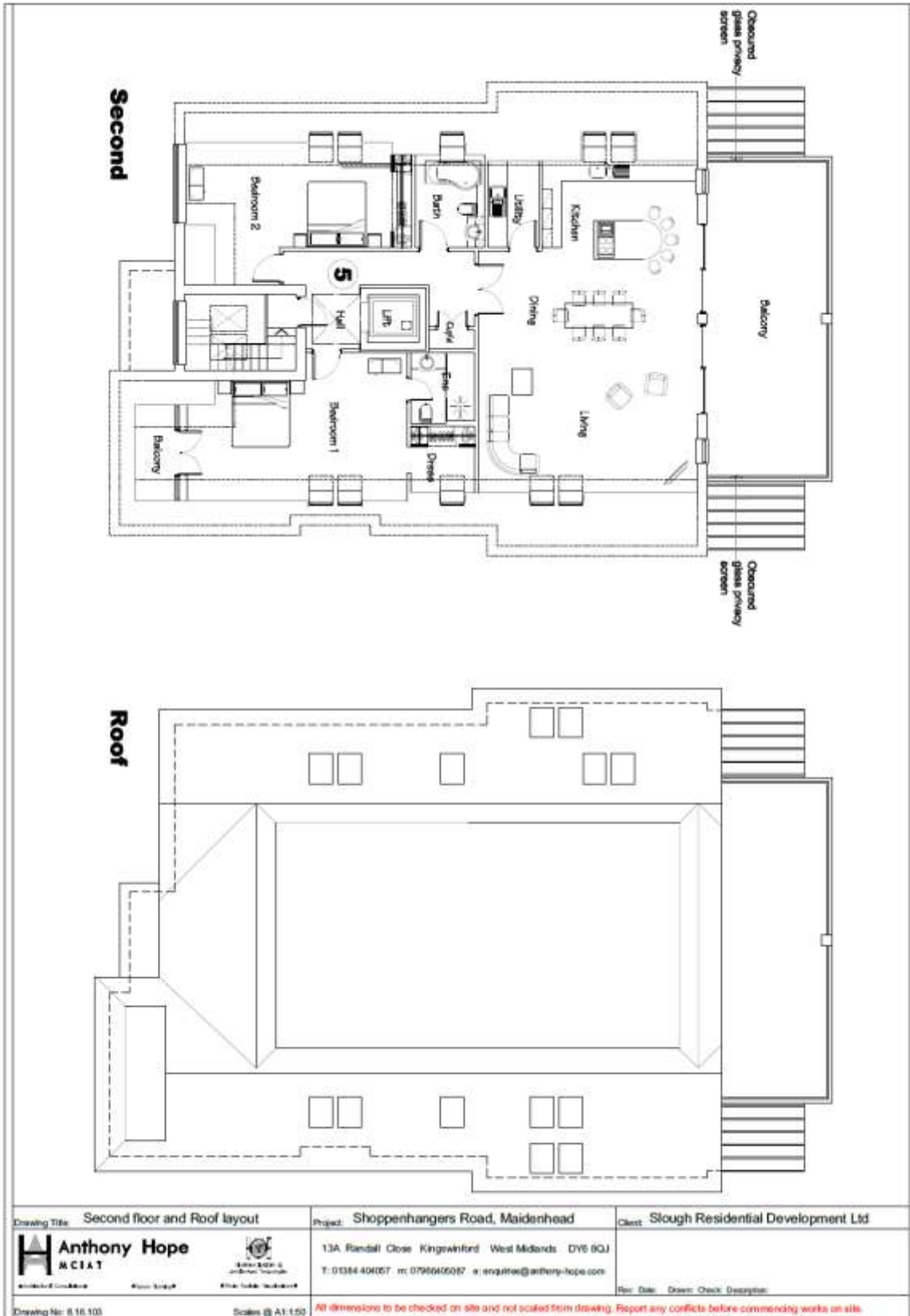
4. It is noted that the existing buildings may contain asbestos. The applicant is recommended to ensure that all contractors involved in the demolition and site clearance works are aware of the requirements of the Control of Asbestos at Work Regulations 1987 (as amended) and should contact the Health and Safety Executive at Priestley House, Priestley Road, Basingstoke, Hants, RG24 9NW tel 01256 404000 for further information and advice.

Appendix A – Site Location and Layout



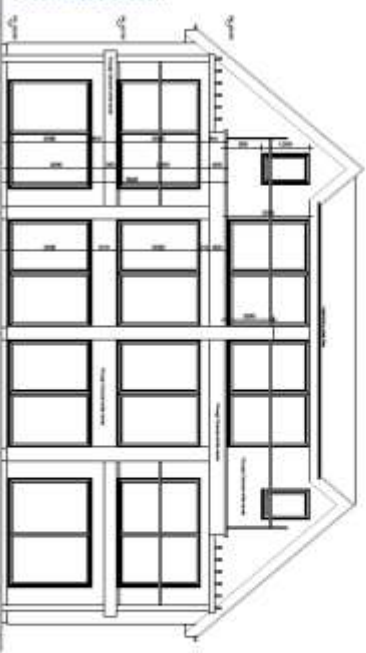
Appendix B – Elevations and Floor Plans



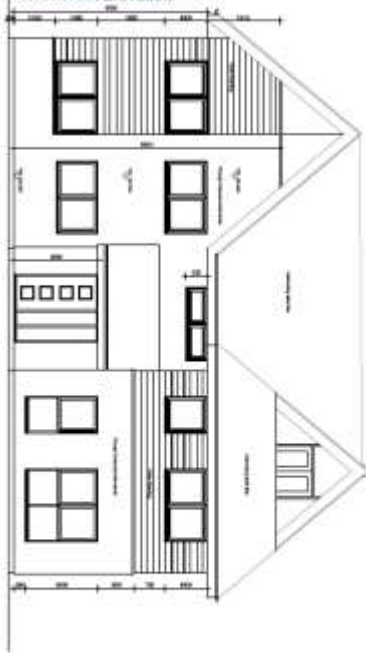


PRELIMINARY

South East elevation



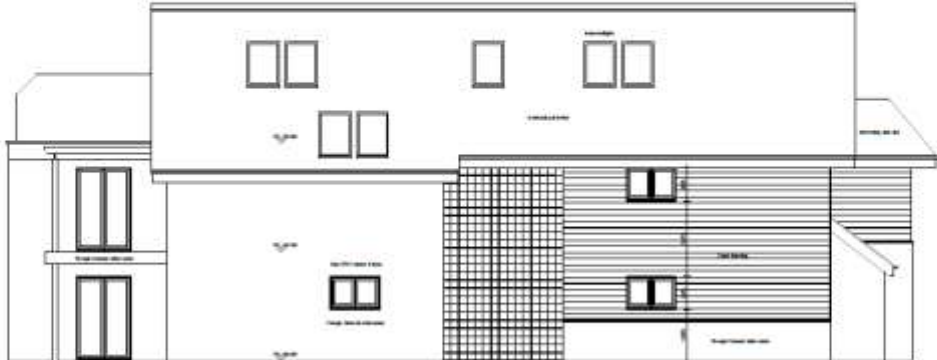
North West Elevation



South West elevation



North East elevation

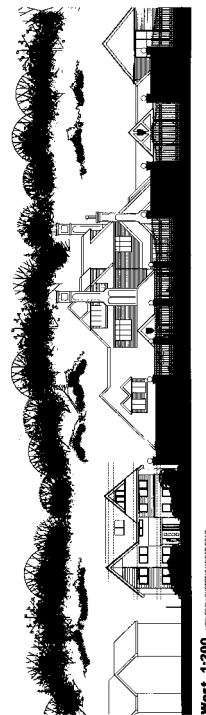
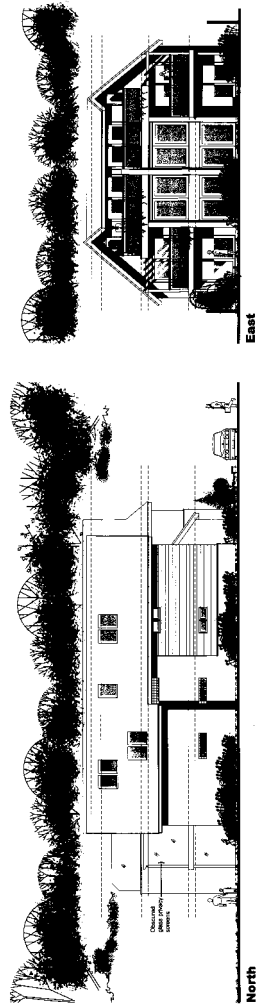
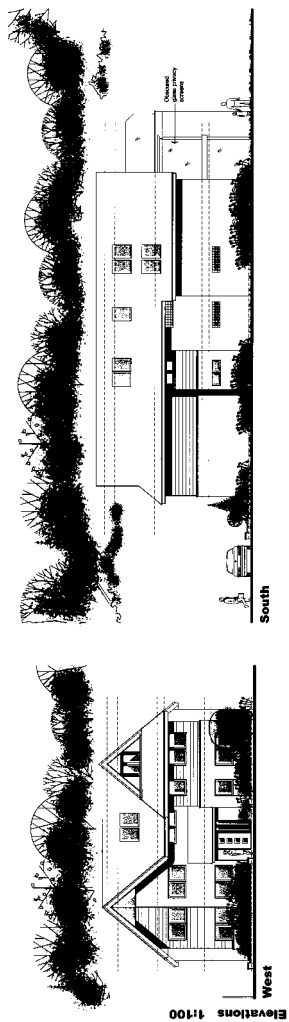


Drawing Title: Proposed Elevations		Project: Shoppenhangers Road, Maidenhead	Client: Slough Residential Development Ltd
<p>Anthony Hope MCIAT</p>	<p>Architectural Association</p>	13A Randall Close Kingswinford West Midlands DY8 9QJ	
		T: 01384 43637 m 0796640598 e enquiries@anthony-hope.com	
Drawing No: E.15.111		Scale: @ A1:150	

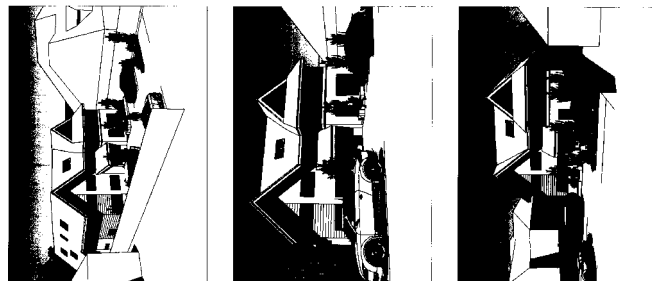
All dimensions to be checked on site and not scaled from drawing. Report any conflicts before commencing works on site.

Previously Approved Scheme

Proposed apartments, Rausbury House



These drawings have been prepared for the proposed development. They are not to be used for any other purpose without the written consent of the architect.



RECEIVED:
13/02/2021

15 JUL 20
PLANNING

1705-13
RAUSBURY HOUSE
ROAD WIMBORNEHEAD
PLANNING & STREET SCENE
ELEVATIONS & STREET SCENE
S. J. CORSE LLP

barclayphillips

The Office, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 38, 40, 42, 44, 46, 48, 50, 52, 54, 56, 58, 60, 62, 64, 66, 68, 70, 72, 74, 76, 78, 80, 82, 84, 86, 88, 90, 92, 94, 96, 98, 100, 102, 104, 106, 108, 110, 112, 114, 116, 118, 120, 122, 124, 126, 128, 130, 132, 134, 136, 138, 140, 142, 144, 146, 148, 150, 152, 154, 156, 158, 160, 162, 164, 166, 168, 170, 172, 174, 176, 178, 180, 182, 184, 186, 188, 190, 192, 194, 196, 198, 200, 202, 204, 206, 208, 210, 212, 214, 216, 218, 220, 222, 224, 226, 228, 230, 232, 234, 236, 238, 240, 242, 244, 246, 248, 250, 252, 254, 256, 258, 260, 262, 264, 266, 268, 270, 272, 274, 276, 278, 280, 282, 284, 286, 288, 290, 292, 294, 296, 298, 300, 302, 304, 306, 308, 310, 312, 314, 316, 318, 320, 322, 324, 326, 328, 330, 332, 334, 336, 338, 340, 342, 344, 346, 348, 350, 352, 354, 356, 358, 360, 362, 364, 366, 368, 370, 372, 374, 376, 378, 380, 382, 384, 386, 388, 390, 392, 394, 396, 398, 400, 402, 404, 406, 408, 410, 412, 414, 416, 418, 420, 422, 424, 426, 428, 430, 432, 434, 436, 438, 440, 442, 444, 446, 448, 450, 452, 454, 456, 458, 460, 462, 464, 466, 468, 470, 472, 474, 476, 478, 480, 482, 484, 486, 488, 490, 492, 494, 496, 498, 500, 502, 504, 506, 508, 510, 512, 514, 516, 518, 520, 522, 524, 526, 528, 530, 532, 534, 536, 538, 540, 542, 544, 546, 548, 550, 552, 554, 556, 558, 560, 562, 564, 566, 568, 570, 572, 574, 576, 578, 580, 582, 584, 586, 588, 590, 592, 594, 596, 598, 600, 602, 604, 606, 608, 610, 612, 614, 616, 618, 620, 622, 624, 626, 628, 630, 632, 634, 636, 638, 640, 642, 644, 646, 648, 650, 652, 654, 656, 658, 660, 662, 664, 666, 668, 670, 672, 674, 676, 678, 680, 682, 684, 686, 688, 690, 692, 694, 696, 698, 700, 702, 704, 706, 708, 710, 712, 714, 716, 718, 720, 722, 724, 726, 728, 730, 732, 734, 736, 738, 740, 742, 744, 746, 748, 750, 752, 754, 756, 758, 760, 762, 764, 766, 768, 770, 772, 774, 776, 778, 780, 782, 784, 786, 788, 790, 792, 794, 796, 798, 800, 802, 804, 806, 808, 810, 812, 814, 816, 818, 820, 822, 824, 826, 828, 830, 832, 834, 836, 838, 840, 842, 844, 846, 848, 850, 852, 854, 856, 858, 860, 862, 864, 866, 868, 870, 872, 874, 876, 878, 880, 882, 884, 886, 888, 890, 892, 894, 896, 898, 900, 902, 904, 906, 908, 910, 912, 914, 916, 918, 920, 922, 924, 926, 928, 930, 932, 934, 936, 938, 940, 942, 944, 946, 948, 950, 952, 954, 956, 958, 960, 962, 964, 966, 968, 970, 972, 974, 976, 978, 980, 982, 984, 986, 988, 990, 992, 994, 996, 998, 1000

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**ROYAL BOROUGH OF WINDSOR & MAIDENHEAD
PLANNING COMMITTEE**

MAIDENHEAD DEVELOPMENT CONTROL PANEL

10 May 2017

Item: 2

Application No.:	17/00717/VAR
Location:	John West House Unit 5 The Quadrant Howarth Road Maidenhead SL6 1AP
Proposal:	Variation of Condition 2 (Seasonal Restriction) of planning permission 16/02659/FULL to allow year-round opening.
Applicant:	Royal Borough of Windsor And Maidenhead
Agent:	Not Applicable
Parish/Ward:	Maidenhead Unparished/Oldfield Ward
If you have a question about this report, please contact: Victoria Gibson on 01628 685693 or at victoria.gibson@rbwm.gov.uk	

1. SUMMARY

1.1 In September 2016 planning permission for a temporary period of 5 years was granted under application 16/02659 for the change of use of a vacant industrial building to an emergency homeless shelter and training centre. This provided a much needed local facility with a range of social and economic benefits. These considerations all weighed in favour of the development and overcame the policy objection to the change of use of the site to a non office/industrial/warehousing use.

1.2 This application now seeks to vary conditions 2 of the previous permission which read as follows:

*“The seasonal emergency night shelter element of the proposal shall provide accommodation for no more than 9 individuals at any time and shall operate only from 7.30pm until 8am, Monday to Sunday during the months of October, November, December, January, February and March only.
Reason: To ensure that the development is carried out in accordance with the proposed details.*

1.3 The applicant now wishes to provide a response to meet the needs of those throughout the year who are street homeless. The proposed condition would therefore read as follows:

*“The emergency night shelter element of the proposal shall provide accommodation for no more than 9 individuals at any time and shall operate only from 7.30pm until 8am, Monday to Sunday only.
Reason: To ensure that the development is carried out in accordance with the proposed details.*

1.4 There are no other changes proposed.

It is recommended the Panel grants planning permission with the conditions listed in Section 10 of this report.
--

2. REASON FOR PANEL DETERMINATION

- The Council’s Constitution does not give the Head of Planning delegated powers to determine the application in the way recommended; such decisions can only be made by the Panel.

3. DESCRIPTION OF THE SITE AND ITS SURROUNDINGS

3.1 The building is located in a group of light industrial units on the edge of an industrial/retail area and residential area approximately 1 mile south of Maidenhead town centre. It benefits from close proximity to main roads and public transport links, retail and leisure facilities. The unit has allocated parking spaces within a larger car parking facility for the area known as The Quadrant.

4. DESCRIPTION OF THE PROPOSAL AND ANY RELEVANT PLANNING HISTORY

- 4.1 There is no relevant history for this site other than application 16/02659 which granted permission for the change of the use of the building to a mixed use of C2, D1 and B8 (emergency shelter, furniture repair workshop and food bank storage)
- 4.2 The facility was originally set up to help address a clear and present issue in the borough and to provide practical help and training to homeless people in the borough.

5. MAIN RELEVANT STRATEGIES AND POLICIES RELEVANT TO THE DECISION

- 5.1 National Planning Policy Framework Sections 8 (Promoting Healthy Communities.)

Development Plan

- 5.2 The main strategic planning considerations applying to the site and the associated policies are:

	Within settlement area	Highways and Parking	Employment
Borough Local Plan	DG1	P4, T5	E5
Maidenhead Area Action Plan	MTC4	MTC14	-

Other Local Strategies or Publications

- 5.3 Other Strategies or publications relevant to the proposal are:

- RBWM Parking Strategy

More information on these documents can be found at:

https://www3.rbwm.gov.uk/info/200414/local_development_framework/494/supplementary_planning

6. EXPLANATION OF RECOMMENDATION

- 6.1 There has been no material change in policy or on site which would prevent the reissuing of this decision. The main considerations are therefore whether the use of the shelter all year round would cause harm in relation to the following:

- i Impact on the character and appearance of the area;
- ii Impact on the amenities of neighbouring occupiers and future residents;
- iii Highway Considerations; and

Impact on the character and appearance of the area

- 6.2 The use of the shelter all year round does not necessitate any external changes and as such the proposal would not harm the character and appearance of the area. As such there is no policy objection on this account.

Impact on the amenities of neighbouring occupiers and future residents

- 6.3 The proposed use of the facility all year round would not result in a use which would cause an unacceptable level of noise or disturbance that would harm the amenities of the neighbouring occupiers. Whilst an industrial estate is not normally appropriate for residential development, given the temporary nature of people staying here no objection is raised. The Environmental Protection Officer had previously requested several conditions regarding deliveries and noise levels however given the industrial nature of the area and the temporary nature of the proposals

these conditions were not considered reasonable, and would not meet the requested tests set out in Planning Practice Guidance.

Highway Considerations

- 6.4 Given that the number of residents at any one time would not change as a result of the shelter being used all year round no highway objections are raised.

7. COMMUNITY INFRASTRUCTURE LEVY (CIL)

- 7.1 The proposal is CIL liable but the site proposal is in Maidenhead Town Centre where there is zero charging.

8. CONSULTATIONS CARRIED OUT

Comments from interested parties

5 occupiers were notified directly of the application.

The planning officer posted a notice advertising the application at the site on 31st March 2017.

No letters of support or objection have been received.

Other Consultees

Consultee	Comment	Where in the report this is considered
Highways	No objection.	6.3.
Environmental Protection	Comments awaited.	6.4.

9. APPENDICES TO THIS REPORT

- Appendix A - Site location plan and previously approved site layout.
- Appendix B - Previously approved Plan and elevation drawings.

Documents associated with the application can be viewed at:

<http://www.rbwm.gov.uk/pam/search.jsp>

by entering the application number shown at the top of this report without the suffix letters.

This recommendation is made following careful consideration of all the issues raised through the application process and thorough discussion with the applicants. The Case Officer has sought solutions to these issues where possible to secure a development that improves the economic, social and environmental conditions of the area, in accordance with NPFF.

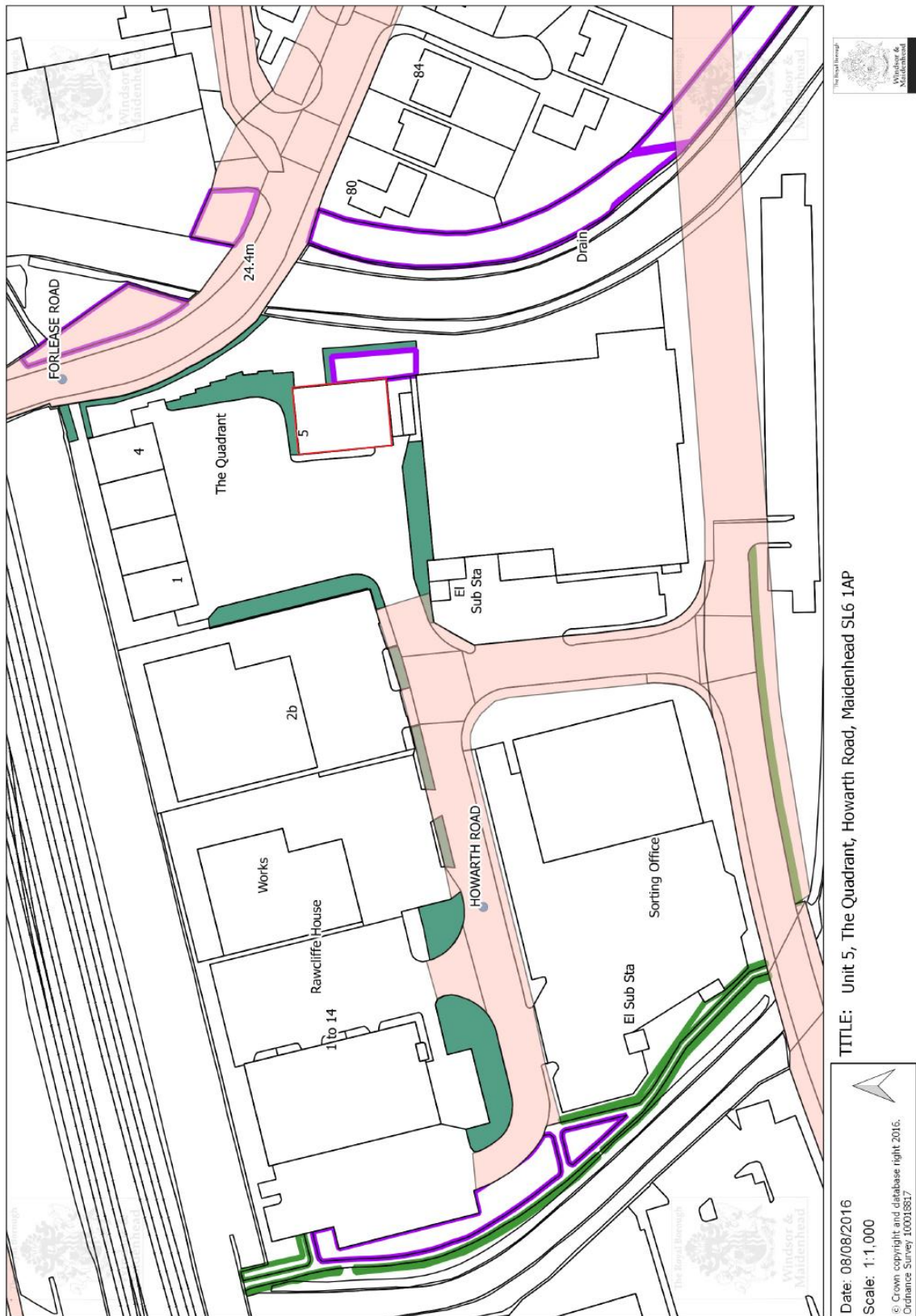
In this case the issues have been successfully resolved.

10. CONDITIONS IF PERMISSION IS GRANTED

1. The use shall be discontinued, and building restored to its former condition on or before 28th September 2021.
Reason: As it has not been adequately demonstrated that there is no longer a requirement for this industrial unit. Relevant Policies - Local Plan EN5.

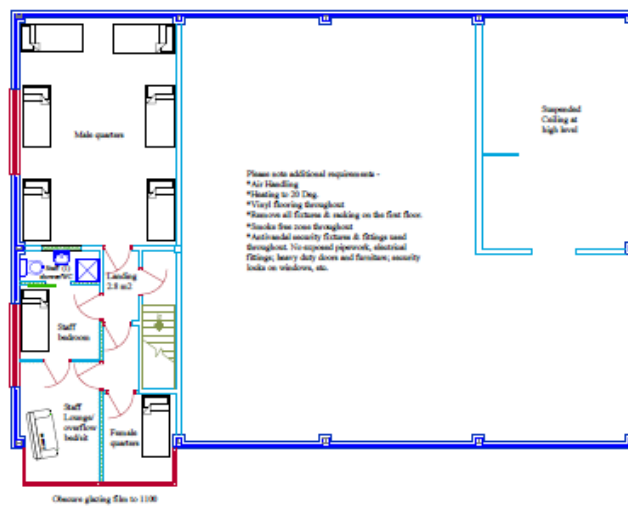
2. The seasonal emergency night shelter element of the proposal shall provide accommodation for no more than 9 individuals at any time and shall operate only from 7.30pm until 8am, Monday to Sunday only.
Reason: To ensure that the development is carried out in accordance with the proposed details.
3. The site shall at no time be used as an open kitchen or food bank available to the general public. The kitchen facilities shall only be used in connection with the people residing at the shelter, by staff or those taking part in a training session.
Reason: To ensure that the development is provided with adequate parking facilities in order to reduce the likelihood of roadside parking which could be detrimental to the free flow of traffic and to highway safety. Relevant Policies - Local Plan P4, DG1.
4. There shall be no more than 8 people attending any training session at one time and the training facilities shall only operate between the hours of 8.00 hrs to 18.00 hrs Monday to Sunday.
Reason: To ensure that the development is provided with adequate parking facilities in order to reduce the likelihood of roadside parking which could be detrimental to the free flow of traffic and to highway safety. Relevant Policies - Local Plan P4, DG1.
5. The flood evacuation plan detailed in the flood risk assessment and its requirements shall be fully implemented and subsequently maintained for the lifetime of the development.
Reason: To ensure that additional people within the floodplain are not affected by the risks and hazards of flooding. Relevant Policies - Local Plan F1, AAP MTC4
6. The development hereby permitted shall be carried out in accordance with the approved plans listed below.
Reason: To ensure that the development is carried out in accordance with the approved particulars and plans.

Appendix A

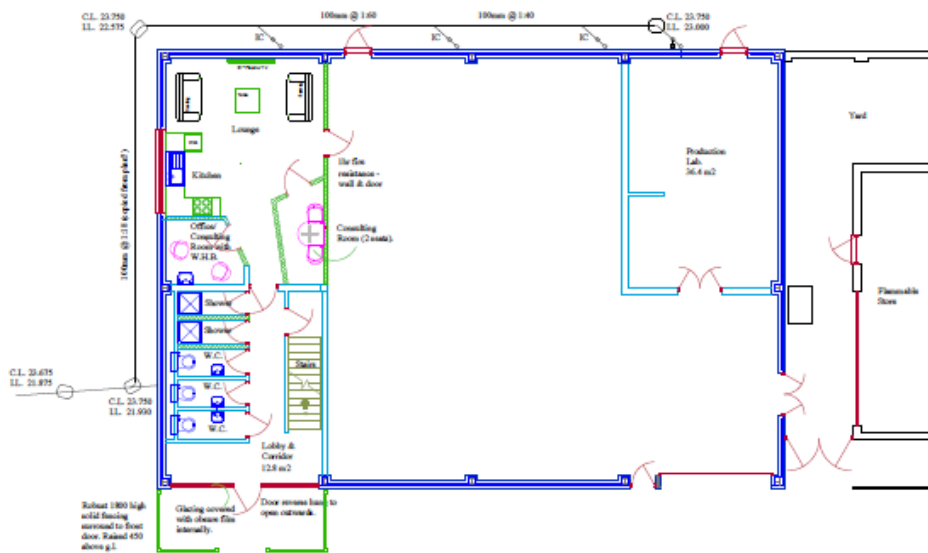


Unit 5, The Quadrant, Howarth Road, Maidenhead. Berks.

Scale 1:100 @ A2



First Floor



Ground Floor

**ROYAL BOROUGH OF WINDSOR & MAIDENHEAD
PLANNING COMMITTEE**

MAIDENHEAD DEVELOPMENT CONTROL PANEL

10 May 2017

Item: 3

Application No.:	17/01159/LBC
Location:	Maidenhead Public Library St Ives Road Maidenhead SL6 1QU
Proposal:	Consent to install three acoustic meeting pods
Applicant:	The Royal Borough of Windsor And Maidenhead
Agent:	Not Applicable
Parish/Ward:	Maidenhead Unparished/Oldfield Ward
If you have a question about this report, please contact: Jessica Stileman on or at jessica.stileman@rbwm.gov.uk	

1. SUMMARY

- 1.1 The proposals are designed to create three private meeting rooms for a 'one-stop-shop' for a merged library and customer services centre. The proposed alterations would preserve the architectural merit of the Listed Building in compliance with both National and Local Plan Policy.

It is recommended the Panel grants Listed Building Consent with the conditions listed in Section 10 of this report.
--

2. REASON FOR PANEL DETERMINATION

- The Council's Constitution does not give the Head of Planning delegated powers to determine the application in the way recommended; such decisions can only be made by the Panel.

3. DESCRIPTION OF THE SITE AND ITS SURROUNDINGS

- 3.1 The library is a dynamic modern building sited on St Ives Road, which runs southwards from the High Street towards the railway. It lies on the edge of the close knit historic town centre, now undergoing redevelopment, and is in an area associated with municipal buildings, notably the Town Hall, which stands on the west side of the road directly opposite the library. The building is just outside the southern boundary of the Maidenhead Town Centre Conservation Area. The site slopes steeply down to the east where there is a stream and a grassed amphitheatre space alongside it. The far bank of the stream is now intensively developed for flatted residential use. Views of these areas can be clearly enjoyed from the library.
- 3.2 A public library which was designed in 1967-8, by Ahrends, Burton and Koralek, architects; the partner in charge was Paul Koralek, and the job architect Gareth Wright; the engineers were Felix, Samuely and Partners. It was built in 1970-3 of reinforced concrete frame with suspended floor slabs on piled foundations. It has a clear span, space frame roof, of welded joints using MS circular hollow tubes, maximum diameter of three inches. The roof, of 80ft clear span and 112' 6" overall width, is supported on eight cruciform reinforced concrete columns set outside the building.

4. DESCRIPTION OF THE PROPOSAL AND ANY RELEVANT PLANNING HISTORY

Below is a list of the most relevant planning history:

Ref.	Description	Decision and Date
16/00360/LBC	Consent for upgrade of electrical supply system to interior and addition of window actuation system.	PERM 19.03.2016.

07/02961/LBC	Consent to undertake improvements and upgrading of access routes to building including surfaces, ramp gradient, handrails and stepped access.	SSPER 24.01.2008.
07/02960/FULL	Improvements and upgrading of access routes to building including surfaces, ramp, gradient, handrails and stepped access.	PERM 20.12.2007.
04/41498/LBC	Internal refurbishment and remodelling, external refurbishment, external plant enclosure and associated ancillary and external works.	WDN 26.06.2006.
04/41497/FULL	Internal refurbishment and remodelling, external refurbishment, external plant enclosure and associated ancillary and external works.	PERM 20.05.2004.
01/36787/FULL	Change of use of part of Library to Internet Cafe (to provide Internet and Computer access, sell hot and cold beverages, sandwiches, jacket potatoes, newspapers, stationery etc. including use of patio area adjoining).	REF 12.09.2001.

- 4.1 The proposals are designed to create three private meeting rooms for a 'one-stop-shop' for a merged library and customer services centre. The proposed private acoustic booths consist of new internal sound-proofed booths constructed of an aluminium powder-coated framework to match the existing internal exposed steelwork with fabric finish to the walls and glazed front panels which would be partly obscured with frosted glass. The booths are self-contained and come complete with their own electrical services within the roof void sections which contain lights and a services 'power-bar' which can be directly connected to the existing library services.
- 4.2 Private booths 1 and 2 would be located in an existing alcove between two brick piers. The works would require the removal of all existing wall-mounted library shelves from the alcove and removal of the existing conduit; the shelves and conduit are not of any architectural or historic interest. The ceiling to the rear of the booth is designed to be shaped to match the slope of the existing plasterboard ceiling to the rear and would be affixed to this ceiling. Each pod would be 2956mm wide making a full width of 5992mm with a booth height of 2210mm plus a false roof of 470mm height.
- 4.3 Private booth 3 would be a single booth with a glazed front which is partly frosted. The front elevation of the booth would be 1902mm wide and 2100mm in height. The screen would be fixed to the brickwork within the existing mortar joints.

5. MAIN RELEVANT STRATEGIES AND POLICIES RELEVANT TO THE DECISION

5.1 National Planning Policy Framework Sections

The NPPF (paragraph 128) requires applicants:

‘to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance’.

Paragraph 131 of the NPPF states that, local planning authorities should take into account:

‘the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation’.

Paragraph 132 of the NPPF states:

When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification. Substantial harm to or loss of a grade II listed building, park or garden should be exceptional. Substantial harm to or loss of designated heritage assets of the highest significance, notably scheduled monuments, protected wreck sites, battlefields, grade I and II listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.*

Paragraph 134 states that:

Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.

Royal Borough Local Plan

5.2 The main strategic planning considerations applying to the site and the associated policies are:

Listed Building
LB2

These policies can be found at

https://www3.rbwm.gov.uk/downloads/download/154/local_plan_documents_and_appendices

6. EXPLANATION OF RECOMMENDATION

6.1 The key issues for consideration are:

- i How the proposals affect the significance of the Listed Building.

How the proposals affect the significance of the Listed Building.

6.2 The significance of the building is found within its distinctive and open architecture by Ahrends, Burton and Koralek architects. Built in 1970-3 the building broke trends of closed library designs to something much more social. The architecture is purposefully open to encourage user relationship and to increase visibility. The architecture is also of special interest as it embraces exposed materials. The structure of the building can be read as part of the design whilst external materials are boldly continued to the interior. The architectural materials and space are further emphasised by the beautiful clerestory windows which allow light to flow freely within the building and increase that sense of openness.

6.3 Although the pods to be inserted into the building will have some impact on the openness of the space, this impact is minimal as the design is sensitive and is set back into existing alcoves. The social visibility, architectural materials and the clerestory lit space will not be affected so long as the installation of the pods is detailed well and the external booth materials are natural. This can be secured by condition. (See condition 2 and 3).

- 6.4 The proposed booths are self-contained and reversible with minimal direct effects on the fabric of the building. As a modern public library, the building has been subject to a number of other semi-permanent additions to the interior which are considered to facilitate the normal functioning of a library and help to sustain the building in its original function. The proposals are therefore considered to have a wider public benefit of sustaining the building in its original, economic use and do not harm the significance of the Listed Building.

7. CONSULTATIONS CARRIED OUT

Comments from interested parties

The case officer posted a notice advertising the application at the site on 11th April 2017. No letters of support or objection have been received.

Statutory consultees

Consultee	Comment	Where in the report this is considered
Conservation	No objection subject to conditions.	6.2 – 6.4

Other consultees

Consultee	Comment	Where in the report this is considered
Historic England	<p>Thank you for your letter of 12 April 2017 regarding the above application for listed building consent. On the basis of the information available to date, we do not wish to offer any comments. We suggest that you seek the views of your specialist conservation adviser.</p> <p>It is not necessary for us to be consulted on this application again, unless there are material changes to the proposals. However, if you would like detailed advice from us, please contact us to explain your request.</p>	6.2- 6.4

8. APPENDICES TO THIS REPORT

Appendix A - Site Location

Appendix B - Elevations and Sections of proposed booths

9. CONDITIONS RECOMMENDED FOR INCLUSION IF PERMISSION IS GRANTED REASONS

- The development hereby permitted shall be commenced within three years from the date of this permission.
Reason: To accord with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).
- Prior to the commencement of work, samples of the following shall be submitted to and approved in writing by the Local Planning Authority:
 - the Aluminium metal framework
 - all external finishes of the pods

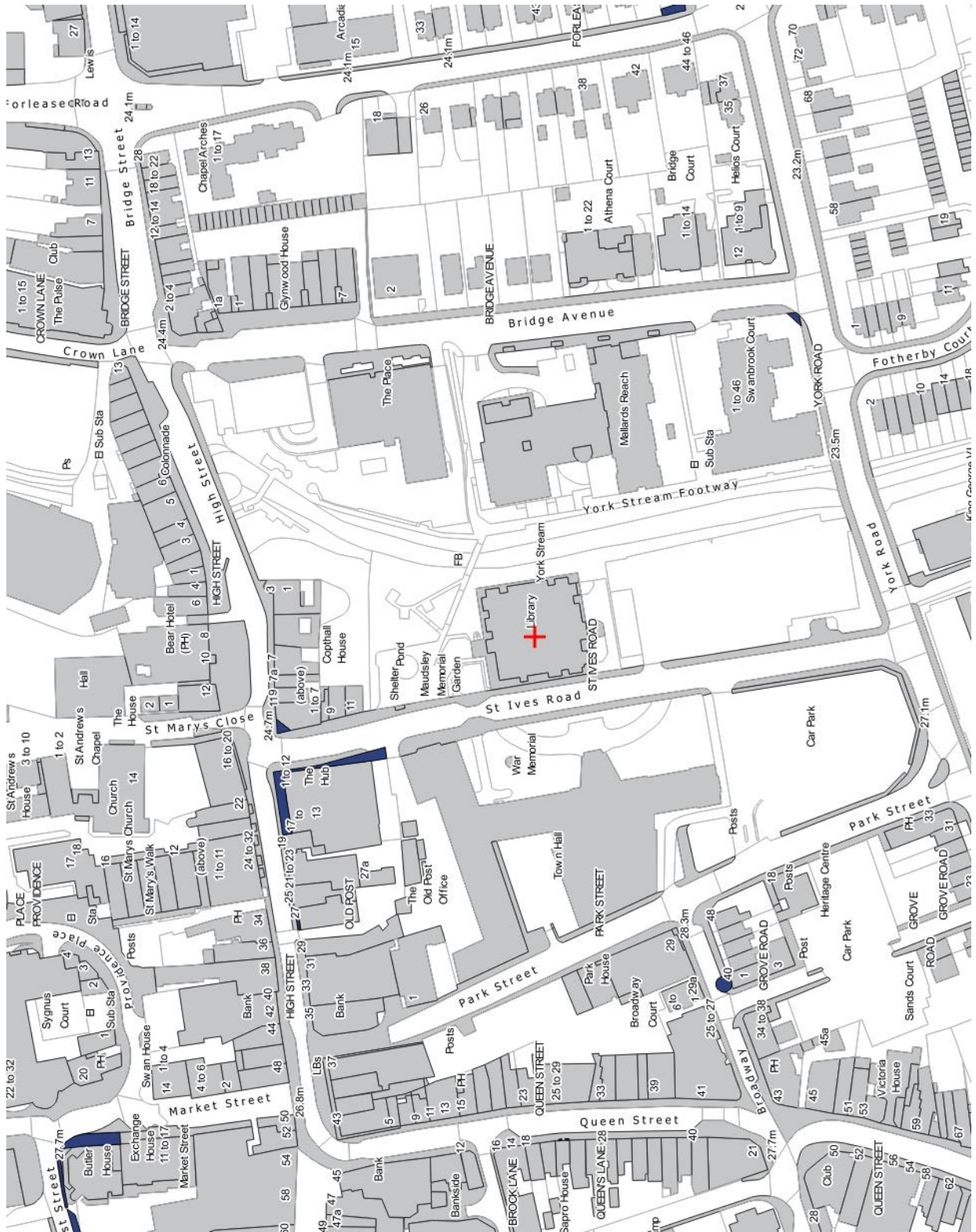
All materials incorporated in the work shall match the approved samples. The proposed development shall be carried out and permanently maintained in accordance with the approved details.

Reason: To protect and preserve the character of the listed building. Relevant Policies - Local Plan LB2

3. Prior to the commencement of work, details of the proposed internal fixings to the surrounding walls and ceilings and method statement for their installation are to be submitted to and approved in writing by the local planning authority. Reason: To protect and preserve the character of the listed building. Relevant Policies - Local Plan LB2

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Appendix A



Overview plan of library ground floor showing sites of booths (edges of building mid right and left of plan):

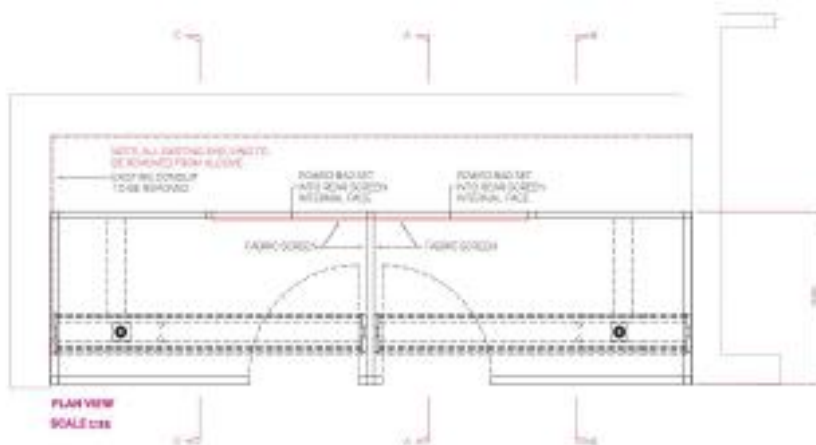


Booth 1 and 2



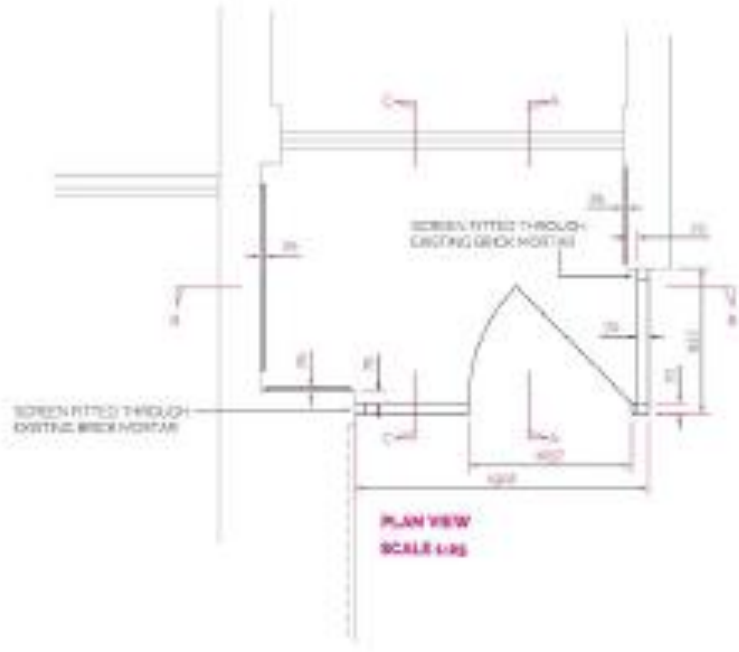
FRONT VIEW
MANIPULATION DETAIL - GLAZED AREAS ONLY

PLAN VIEW OF SURROUND AREA FOR BOOTH 1 & 2 / SCALE 1:50

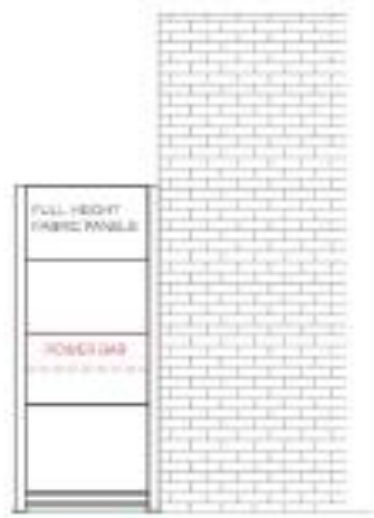


PLAN VIEW
SCALE 1:50

Booth 3



FRONT ELEVATION
SCALE 1:25



RIGHT ELEVATION

PLANNING COMMITTEE

MAIDENHEAD DEVELOPMENT CONTROL PANEL

Appeal Decision Report

1 April 2017 - 27 April 2017

MAIDENHEAD

Appeal Ref.: 17/60005/REF **Planning Ref.:** 16/02164/CLAS SM **Plns Ref.:** APP/T0355/W/16/3163513

Appellant: Copas Farms c/o Agent: Miss Emma Thomas Pike Smith And Kemp Rural The Old Dairy Hyde Farm Marlow Road Maidenhead SL6 6PQ

Decision Type: Committee **Officer Recommendation:** Prior Approval Required and Refused

Description: (Class Q) Change of use from an agricultural building to a dwellinghouse (C3) and associated operational development

Location: **Pump House Kennel Lane Cookham Dean Maidenhead**

Appeal Decision: Allowed **Decision Date:** 3 April 2017

Main Issue: The Inspector found that the conversion would not result in any undesirable consequences for future occupants, and that the location and siting of the building is neither impractical nor undesirable. The Costs Application was awarded. The Officers report did not refer to the PPG's advice in relation to the conversion of agricultural buildings to dwellings. This is regrettable as the PPG's advice in relation to the location and siting of the building and its expansion of the meaning of 'impractical' and 'undesirable' is of particular relevance to this case. It did not explain that Green Belt is not a consideration in this type of application. Consequently unreasonable behaviour resulting in unnecessary expense has been demonstrated.

Appeal Ref.: 17/60020/REF **Planning Ref.:** 16/02179/FULL **Plns Ref.:** APP/T0355/D/16/3164963

Appellant: Mr D Brownlow c/o Agent: Mr Mark Carter Carter Planning Limited 85 Alma Road Windsor SL4 3EX

Decision Type: Delegated **Officer Recommendation:** Refuse

Description: Erection of swimming pool and building with part basement following demolition of existing outbuildings

Location: **Great Martins Martins Lane Shurlock Row Reading RG10 0PN**

Appeal Decision: Allowed **Decision Date:** 4 April 2017

Main Issue: Proposal would be a disproportionate extension to the size of the original building and therefore be inappropriate development in the Green Belt and harmful to openness, but would be smaller than an already demolished outbuilding and would also be closer to the house opposed to already removed outbuildings which were dotted around the estate.

Appeal Ref.: 17/60024/REF **Planning Ref.:** 16/02742/FULL **Plns Ref.:** APP/T0355/D/17/
3168355

Appellant: Mr Peter Dines Hersom 29 Ray Mill Road West Maidenhead SL6 8SA

Decision Type: Delegated **Officer Recommendation:** Refuse

Description: Two storey side extension, first floor rear extension, alterations and extensions to roof to facilitate loft conversion to habitable accommodation with side and rear dormers and amendments to chimney and fenestration

Location: **29 Ray Mill Road West Maidenhead SL6 8SA**

Appeal Decision: Dismissed **Decision Date:** 27 April 2017

Main Issue: The Inspector found the proposal contrary to Policies DG1 and H14 of the RBWM Local Plan 1999 which seek to prevent harm caused to the character of the surrounding area and specifically highlight that extensions should not have any adverse effect upon the character or appearance of the original property, nor adversely affect the street scene.

Planning Appeals Received

1 April 2017 - 27 April 2017

MAIDENHEAD

The appeals listed below have been received by the Council and will be considered by the Planning Inspectorate. Further information on planning appeals can be found at <https://acp.planninginspectorate.gov.uk/>. Should you wish to make comments in connection with an appeal, please use the PIns reference number and write to the relevant address, shown below.

Enforcement appeals: The Planning Inspectorate, Room 3/23 Hawk Wing, Temple Quay House, 2 The Square, Temple Quay, Bristol, BS1 6PN or email teame1@pins.gsi.gov.uk

Other appeals: The Planning Inspectorate Room 3/10A Kite Wing Temple Quay House 2 The Square Bristol BS1 6PN or email teamp13@pins.gsi.gov.uk

Ward:

Parish: Maidenhead Unparished

Appeal Ref.: 17/60037/REF **Planning Ref.:** 16/00811/FULL **PIns Ref.:** APP/T0355/W/16/3166141

Date Received: 6 April 2017 **Comments Due:** 11 May 2017

Type: Refusal **Appeal Type:** Written Representation

Description: Erection of 10 x 2 bed and 2 x 1 bed flats with associated vehicular access, car parking, refuse and cycle storage following demolition of existing buildings

Location: **Green Trees Widbrook Road Maidenhead SL6 8HS**

Appellant: Kingsway Homes (Berkshire) Ltd **c/o Agent:** Mr David Howells DMH Planning 72 Cedar Avenue Hazlemere High Wycombe Bucks HP15 7EE

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Agenda Item 7

By virtue of paragraph(s) 1, 2, 3, 4, 5, 6, 7, 7a, 7b, 7c of Part 1 of Schedule 12A of the Local Government Act 1972.

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